

# ERWIN

## DESIGN GUIDELINES



**TABLE OF CONTENTS**

ERWIN DOWNTOWN OVERLAY MAP .....1

ARTICLE I. Introduction.....2

    A. Erwin’s Vision .....2

    B. Purpose of the Design Guidelines.....3

    C. Creation of Design Review Commission and Ordinance .....3

    D. How the Design Review Guidelines Relate to Other Ordinances .....3

    E. Compliance Requirements & Permitting Process.....4

    F. Enforcement.....6

ARTICLE II. Definitions.....6

ARTICLE III. Site Standards and Guidelines .....10

    Section 1. Commercial and Mixed Use .....10

    Section 2. Transitional .....12

    Section 3. Civic and Institutional.....14

ARTICLE IV. Streetscape Elements .....17

    Section 1. Pedestrian Zone.....17

    Section 2. Parking and Access .....18

    Section 3. Landscaping and Screening .....21

ARTICLE V. Commercial and Mixed-Use Building Standards and Guidelines .....23

Section 1. Commercial and Mixed Use .....	23
Section 2. Transitional .....	38
Section 3. Civic and Institutional.....	42
ARTICLE VI. Signage.....	46
APPENDIX “A” Appropriate and Inappropriate Building Materials.....	50

# ERWIN DOWNTOWN OVERLAY MAP



## ARTICLE I

### INTRODUCTION

#### A. ERWIN'S VISION

Erwin's hometown character provides an unparalleled setting for people to live, shop and work. The Erwin citizens clearly want the Town to be a special place, a community. The quality of the Town's physical environment has a direct bearing on its livability and economic prospects in maintaining the desired "hometown atmosphere." The Town of Erwin has many assets, including a strong commitment to the heritage of the community, an attractive historic downtown feel, a strong economic position in the region, and high quality development standards.

Led by the Board of Mayor and Aldermen, Erwin established in February of 2012 its vision for future development within the established "Erwin Downtown District" through a public planning process that resulted in the following Principles of the Downtown Master Plan:

#### **Ensure Public Involvement**

- Engage public input throughout the entire process
- Hold regular public meetings
- Keep an on-going dialogue with citizens

#### **Establish a Pedestrian-Friendly Environment**

- Provide wide sidewalks
- Design for outdoor café-style seating
- Incorporate landscaping and lighting elements
- Improve accessibility at crosswalks and include ADA ramps
- Include trash receptacles, benches, and bike racks
- Utilize a "park and walk" approach complete with wayfinding signage
- Promote connectivity between adjacent neighborhoods and the downtown

#### **Utilize Consistent Street Design Elements**

- Establish a unique identity
- Choose streetscape elements with similar design characteristics
- Create architectural element guidelines

#### **Facilitate Private Reinvestment**

- Provide on-street parking and/or interior parking so key locations can be utilized for buildings
- Redevelop the "missing teeth" of the downtown core framework
- Create incentives for business owners that are located downtown

#### **Incorporate a Wayfinding Signage System**

- Create a wayfinding masterplan including different levels of signage
- Incorporate the unique downtown identity into the signage design

## **Incorporate Public Space and Public Art**

- Utilize “branding” and thematic elements

## **B. PURPOSE OF THE DESIGN GUIDELINES**

Creating places conducive to “community” is one role of urban design. A sense of community implies distinct places as people move daily from where they live, to where they shop, to where they work, to where they play. These places can and should feel different from each other. A vibrant community is one with unique and interesting places and focused areas of activity and human interaction.

One aspect of the guidelines is establishing ways to make Erwin’s Downtown District have a sense of connectivity while at the same time making them distinct from other part of the town. Some places are used more intensively than others. A hierarchy, or a sense of distinction between areas, can reinforce the balance of places that makes up a community. This distinction and hierarchy can be achieved through architectural design, landscaping, and screening.

The vision for these different uses within the Downtown District is to be well connected but functional, distinctive but compatible. This concept simply requires that new development is planned with its neighboring developments in mind, specifically in how they relate through circulation and architectural design. When successfully executed, each development can be distinct, but also blend with its neighbors. The preservation and protection of the Downtown District is a primary value of the community. Community is maintained through managed growth. Community character and livability are promoted through neighborhood preservation, historic preservation, an emphasis on pedestrian scale, and quality new development.

These Design Guidelines present general design priorities and core design principles that can be adapted to individual circumstances of site and building design. While specific examples are provided, the enduring strength of guidelines relies on their flexibility. It is anticipated that developers will be able to build on these principles and create unique, livable, and viable projects that meet the community’s vision. The intent of these design guidelines is not to limit growth or development within the Downtown District or to restrict creative design solutions, but to encourage development that reinforces the vision of Erwin as a quality place to live and work.

## **C. CREATION OF DESIGN REVIEW COMMISSION AND ORDINANCE**

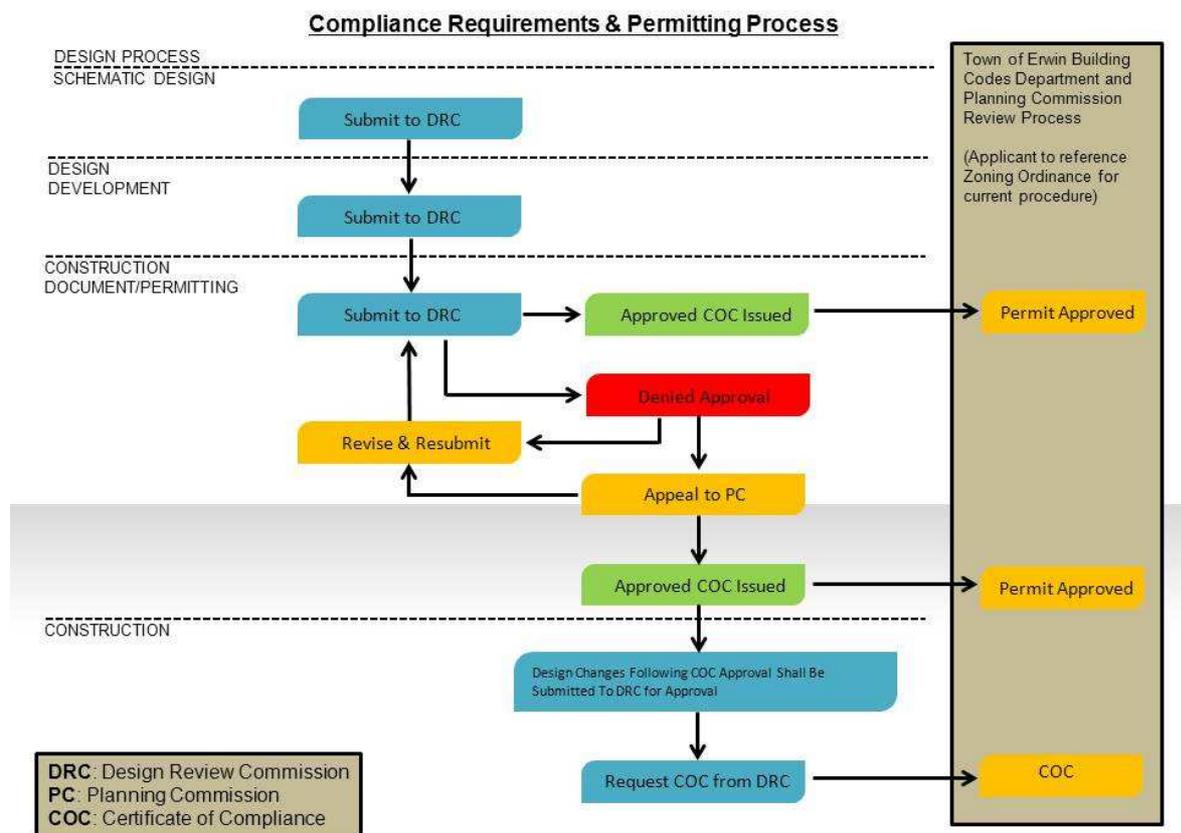
The Board of Mayor and Aldermen (BMA) created the Design Review Commission (DRC) on **August 12, 2013** to ensure that proposed developments and individual buildings conform to proper design guidelines and the general character of the area in which they are located. Erwin’s Design Review Ordinance, located within the Zoning Ordinance, spells out the detailed power and authority of this review board.

## **D. HOW THE DESIGN GUIDELINES RELATE TO OTHER ORDINANCES**

This manual is an official policy document that expands upon the priorities and goals of the design principles set forth in the Downtown Master Plan. While the guidelines provide specific requirements for design and development, they cannot, and are not intended to, cover all circumstances. Rather, the structure and content of the manual are meant to give developers, citizens, business owners, design professionals, and reviewers the perspective to address the unique conditions of each project, while giving builders flexibility to develop their own designs

that meet the intent, principles and spirit of the guidelines. Therefore, these guidelines do not reproduce all the specific requirements stated in the Zoning Ordinance, Subdivision Regulations, or other applicable development guidelines and regulations. Applicants are advised to consult all necessary related documents. In the event that there appears to be differences or conflicts between the guidelines and the Zoning Ordinance or other regulations, the more stringent standard shall apply.

## E. COMPLIANCE REQUIREMENTS & PERMITTING PROCESS



The Downtown Overlay District Design Standards and Guideline should be used by property owners, developers, architects, builders, business owner’s public officials and interested citizens when considering rehabilitation, renovation redevelopment or new construction in Downtown Erwin.

While the underlying “base” zoning continues to govern land use, these standards guidelines are intended to regulate design, and where more restrictive regarding design theses standards and guidelines shall supersede the base zoning.

The Downtown Overlay District Design Standards and guidelines are intended to be both prescriptive in some regards and suggestive in others. Prescriptive standards will use mandatory

language such as “shall” where suggestive guidelines will use more flexible language such as “should”.

Per TCA 6-54-133, the Mayor has the authority to appoint a Design Review Commission to approve or deny design submittals within the Downtown Overlay District. The Design Review Commission may allow for deviations from the guidelines for exceptional design concepts or unusual physical constraints, but the Planning Commission shall hear all appeals of the Design Review Commission’s decision or requests for variances from the standards of the Downtown Overlay District per TCA 6-54-133.

Compliance with these standards and guidelines does not exempt any property from applicable local, state, and federal laws, codes or guidelines. Site plans and subdivision plats shall still be reviewed by the Planning Commission, and variance requests from the terms of the remainder of the zoning ordinance shall still be reviewed by the Planning Commission, and variance requests from the terms of the remainder of the zoning ordinance shall still be heard by the Board of Zoning Appeals.

The Downtown Overlay District is intended to allow existing property owners to continue using their property as-is in a “grandfathered” state of non-compliance with the standards and guidelines so long as they remain in the same state as on the day of the Overlay’s adoption.

The design standards and guidelines are structured to allow properties to develop and change over a period of time as it is recognized that requiring full compliance for limited investment may be determined to the desired growth and vitality of the downtown. Therefore, compliance with the Downtown Overlay Design Standards and Guidelines is dependent on the extent of proposed modification to a property and/or improvements thereon. These levels of compliance re instigated, or “triggered” by the extent of proposed modifications and/or development.

#### Compliance Level 1: Minimal

- New signage to existing properties shall comply.
- Awning and canopy additions to existing properties shall comply.

#### Compliance Level 2: Moderate

- Building additions shall comply to applicable building standards and guidelines and with site standards and guidelines to the extent practicable.
- Building façade renovations shall comply with building standards and guidelines.

#### Compliance Level 3: Complete

- New structures shall comply
- Site development/redevelopment shall comply.

## **F. Enforcement**

### **Bonding Requirements**

The Design Review Commission (DRC) may require that the completion of amenities and improvements as shown on the final design plans and approved by the DRC be secured with surety and conditions satisfactory to it, providing for and securing to the municipality the actual construction and installation of such amenities and improvements within a period specified by the DRC and expressed in the bonds, and the municipality is hereby granted the power to enforce such bonds by all appropriate legal and equitable remedies.

### **Penalties**

Any person violating any provision of this ordinance shall be guilty of a misdemeanor, and upon conviction shall be fined not less than two dollars (\$2.00) nor more than fifty dollars (\$50.00) for each offense. Each day of such violation shall continue shall constitute a separate offense.

## **ARTICLE II**

### **DEFINITIONS**

**Accessibility** - The ability to physically reach desired destinations, services, and activities.

**Bollard** - Any small vertical element such as a decorative steel pole or a short concrete column acting as an edge or divider to allow pedestrian traffic movement but restrict vehicular traffic in a certain area.

**Building Area** - the portion of a lot that is available for a building footprint as regulated by the site standards and guidelines herein and by the rear and side lot setbacks as regulated by the base zoning; the building area includes the build-to zone.

**Build-to Zone** - the portion of a lot delineated by the maximum distance a building may be setback from the edge of the pedestrian zone.

**Bulb-outs** - An extension of the sidewalk or curb line out into the parking aisle of a street to effectively reduce the street width, improving pedestrian crossing with reduced walking distance and increased visibility of vehicles. They can also help reduce vehicular speeds and provide additional space for curb ramps landscaping plantings, and other streetscape elements.

**Cabinet Sign** - a sign that contains all the text and/ or logo symbols within a single enclosed cabinet and may or may not be illuminated.

**Certificate of Compliance (COC)** - Written approval from the Design review commission to the Town of Erwin Codes Department and planning commission stating that an application has been reviewed and either complies with the Downtown overlay District Design Standards and Guidelines or complies with attached written conditions.

**Charrette** - A collaborative workshop session in which a group of individuals draft a solution to a design problem.

Civic & Institutional Building - a form of building intended to be used for public services, governmental agencies, public or private schools, museums, public gathering and places of worship.

Column - a supporting pillar consisting of a base, a cylindrical shaft, and a capital.

Commercial & Mixed-use Building - a form of building with a ground floor use intended for retail sales, restaurants, office, or hospitality as permitted in the C-1 zoning district and that may have multiple- stories of upper floor uses as permitted in the C-1 zoning district.

Cornice - any crowning projection detail on a building façade.

Corridor - A transportation pathway that provides for the movement of people and vehicles between and within activity centers.

Design Guidelines - Recommendations intended to guide the design of Erwin's downtown streetscape. Where conditions are not specifically addressed in the guidelines, it is the responsibility of the proponent to show that the proposed design solution meets the intent of the most closely related guidelines.

DRC – Design Review Commission.

Façade - the exterior face of a building which is the architectural front; each lot frontage has a facade including the side dimension of a corner lot.

Facade Bay - an architectural term used to describe an individual portion of the overall horizontal building facade as delineated by vertical architectural elements, variations in building materials and colors or variations in wall planes.

Facade Base, Shaft and Cap - architectural terms used to describe vertical building segments as likened to the elements of a classical column order.

EIFS - exterior insulation Finish System.

Gateway - An opening or structure framing an opening; something that serves as an entrance or a means of access.

Leveraging development potential - The ability to create synergies from development of adjoining projects. Individually, neither project can create the momentum that they can together, (i.e. one project takes advantage of the other project's clientele or users).

Liner Building - occupiable building area used to screen utilitarian site uses such as parking garages from views from streets or public areas.

Linkage - Physical connections in the form of pedestrian walkways, streetscape improvements, and other elements between destinations, districts, and neighborhoods.

**Live-work** - A dwelling unit that is also used for work purposes, provided that the 'work' component is restricted to the uses of professional office, artist's workshop, studio, or other similar uses and is located on the street level. The 'live' component may be located on the street level behind the work component or any other level of the building.

**Mansard Roof** - a roof with two slopes, the lower almost vertical to allow extra roof space for attic rooms.

**Muntin**: A tertiary framing member that subdivides the sash into individual panes, lights or panels. Note: Grids placed between two sheets of glass are not considered muntins.

**Mid-block crossing** - A pedestrian crosswalk located between intersections; must be designed carefully so vehicles drive safely and stop for pedestrians in these crosswalks.

**Mixed-use** - The combining of retail, commercial, residential, and/or office in the same building or on the same site.

**Overhanging Fascia Roof** - a roof having a fascia that cantilevers out beyond the building facade to create a covered area.

**Pan Formed Sign** - a sign type manufactured by vacu-forming plastic sheets over a mold into a pan form that may include embossed lettering and graphics that are typically internally illuminated.

**Pedestrian-friendly** - A term specific to a location or a district, such as Erwin's downtown masterplan area, indicating a walking environment where pedestrians feel safe and comfortable walking along and across the streets; a general term encompassing all the design concepts in this report.

**Pedestrian zone** - The portion of a public streetscape, between the street and the building, intended for pedestrian travel and activity.

**Placemaking** - All of the fiscal, social, cultural, and physical principles that create vibrant walkable neighborhoods and built environments with a sense of place.

**Parapet** - a low guarding wall at any point of sudden drop, as at the edge of a terrace, roof, battlement, balcony, etc.

**Pedestrian Zone** - the portion of a lot and/or public right-of-way between the street and the building intended for pedestrian travel and activity.

**Pediment** - a triangular gable across a portico, door or window; any similar triangular decorative piece over a doorway, etc.

**Pilaster** - a shallow rectangular column projecting only slightly from a wall.

**Primary Building Entrance** - a building entry accessed directly from the pedestrian zone along a primary street; corner lots may have a primary building entrance located at the building corner.

**Primary Street** - the street a lot adjoins that is considered by the Design review commission to be the principal frontage street of the lot; interior lots will only front a primary street.

**Right-of-way** - The boundary of public ownership of a road; the area between private property lines is generally referred to as the public right-of-way.

**Sash:** The secondary part of a window which holds the glazing in place; may be operable or fixed; usually constructed of horizontal and vertical members; sash may be subdivided with muntins.

**Secondary Street** - the street a lot adjoins that is considered by the Design review commission to be the side frontage street of the lot; only applies to lots with frontage along two or more streets

**Sight Distance** - The distance that a driver or pedestrian can see ahead in order to observe and successfully react to a hazard, obstruction, or decision point.

**Sill** - a shelf or slab of stone, brick, wood, or metal at the foot of a window or doorway.

**Stakeholders** - The groups or individuals who have an interest or stake in the outcome of the project development process. These could include elected town officials, utility companies, downtown business owners, and the general public.

**Streetscape** - The visual elements of a street, including the road, adjoining buildings, street furniture, trees and open spaces, and other elements that combine to form the street's character.

**Traffic calming** - Features that slow drivers down because they must navigate over or around these elements to proceed on their desired travel path; may include treatments such as speed humps, speed tables, raised crosswalks, and raised intersections.

**Transitional Building** - a intermediate scale form of building intended to transition the scale of larger commercial & Mixed-use Buildings to smaller buildings surrounding the Downtown overlay District; permitted uses include those in the applicable base zoning districts.

**Travelway** - The area located between opposite curbs, including vehicle and bicycle travel lanes, on-street parking areas, and medians.

**Vertically Proportioned** - the physical ratio of a defined facade element where the measurement of height is no less than one and one-half the measurement of width.

**Wayfinding** - A term used to encompass a group of signs located throughout a district. These signs have a similar design style, but each one has a different message and destination being highlighted.

## ARTICLE III

### SITE STANDARDS AND GUIDELINES

#### Section 1

##### **Commercial and Mixed Use**

The following design standards and guidelines are intended to achieve appropriate site design for commercial and mixed-use buildings in Downtown Erwin. The diagram presented on this page illustrates an example site design for a single lot. Generally, individual lots should be designed as a contributing part of the overall cohesive town block with buildings fronting the streets and parking located internal to the block to the rear of buildings.

#### A. Frontage build-to zone

- New buildings adjacent to existing historic commercial & mixed-use buildings shall be built with the street fronting facades to align with the existing adjacent facades. (Note: some existing historic facades have been covered with newer construction; the intent is to align with the historic facade and not the newer facade)
- New buildings not adjacent to existing historic commercial & mixed-use buildings shall be built to within 5 feet of the pedestrian zone along lot frontage, including the side dimension of a corner lot
- Where special lot conditions exist (such as frontage along a steep grade), the build-to zone may be increased to allow for a split sidewalk, site steps, accessible ramps, etc.

#### B. Pedestrian Zone

- A 10 feet minimum width is required along primary streets.
- An 8 feet minimum width is required along secondary streets.

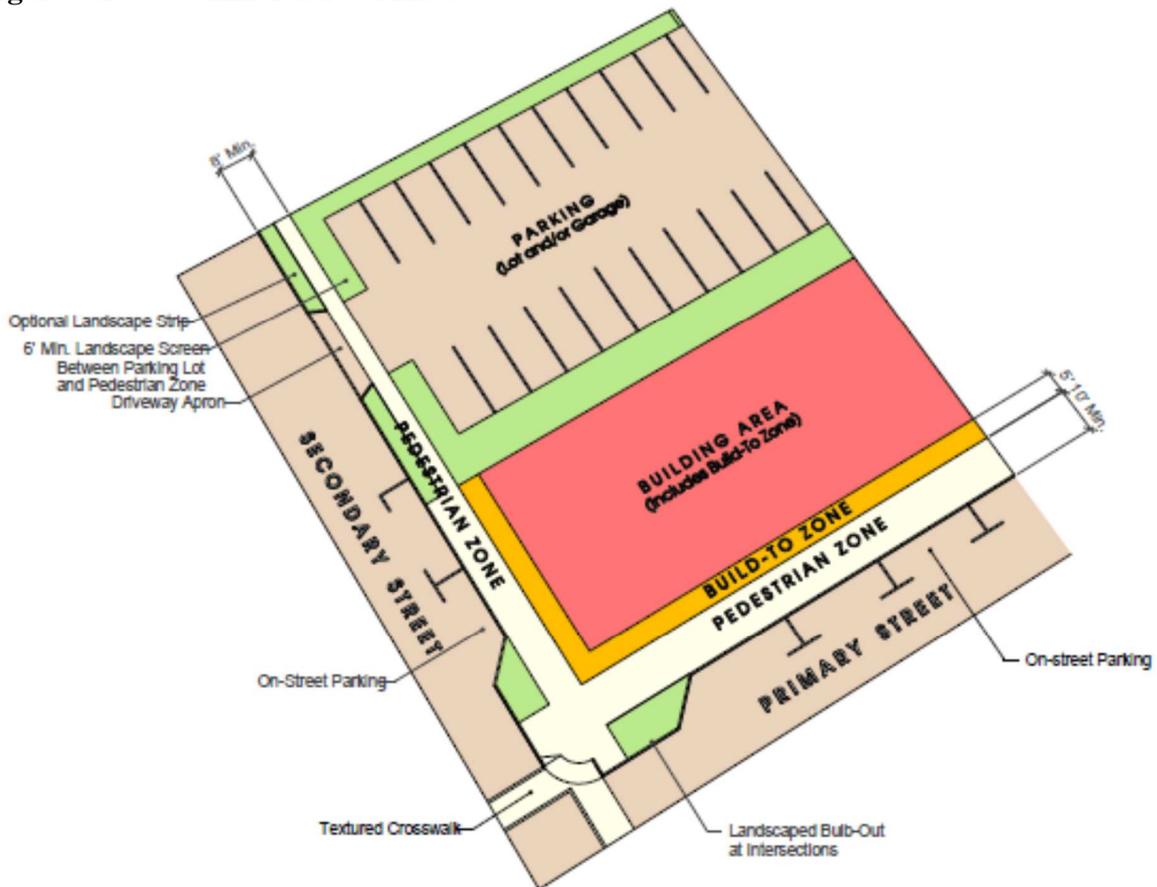
#### C. Access and Parking

- Continuous driveway access along streets is not permitted.
- Driveway access from North Main Avenue, between Tucker Street and Love Street, is discouraged.
- On corner lots, driveway access may only be provided from either a secondary street or an alley.
- On interior lots, driveway access should be provided from either a secondary street or an alley; for special interior lot conditions, a single driveway access point may be provided to a primary street.
- Driveways shall not exceed 20 feet in width at the property line; a concrete driveway ramp shall be provided at the street curb so that sidewalks run continuous across driveways.

- The sharing of parking lots, joint access drives and cross access easements is highly encouraged.

D. Landscaping and Screening  
(See Article IV, Section 3)

**Figure 3.1 Commercial & Mixed-Use**



**Section 2**  
**Transitional**

The intent of transitional development is to transition between the larger scale of commercial and mixed-use buildings and the surrounding residential areas with an intermediate scaled building form. As this relates to the site standards and guidelines, transitional development has a deeper build-to zone that allows for stoops, porches and front yard landscaping between the building and the pedestrian zone.

The following design standards and guidelines are intended to achieve appropriate site design

for transitional buildings in Downtown Erwin. The diagram presented on this page illustrates an example site design for a single lot. Generally, individual lots should be designed as a contributing part of the overall cohesive town block with buildings fronting the streets and parking located internal to the block to the rear of buildings.

A. Build-to Zone

- New buildings adjacent to existing historic transitional buildings shall be built with the street fronting facades to align with the existing adjacent facades. (Note: some existing historic facades have been covered with newer construction; the intent is to align with the historic facade and not the newer facade)
- New buildings not adjacent to existing historic transitional buildings shall be built to within 10 feet of the pedestrian zone along lot frontage, including the side dimension of a corner lot
- Where special lot conditions exist (such as frontage along a steep grade), the build-to zone may be increased to allow for a split sidewalk, site steps, accessible ramps, etc.

B. Pedestrian Zone

- An 8 feet minimum width is required along primary streets
- An 8 feet minimum width is required along secondary streets

C. Access & Parking

- Continuous driveway access along streets is not permitted
- Driveway access from primary streets is discouraged
- On corner lots, driveway access may only be provided from either a secondary street or an alley.
- On interior lots, driveway access should be provided from either a secondary street or an alley; for special interior lot conditions, a single driveway access point may be provided to a primary street.
- Driveways shall not exceed 20 feet in width at the property line; a concrete driveway ramp shall be provided at the street curb so that the sidewalks run continuously across driveways.
- The sharing of parking lots, joint access drives and cross access easements is highly encouraged.
- Off-street parking shall not be permitted in front of a building.

D. Landscaping and Screening

(See Article VI, Section 3)

**Figure 3.2 Transitional Site Standards**



**Section 3**  
**Civic and Institutional**

The following design standards and guidelines are intended to achieve appropriate site design for civic and institutional buildings in Downtown Erwin. The diagram presented on this page illustrates an example site design for a single lot. Generally, individual lots should be designed as a contributing part of the overall cohesive Town block with buildings fronting the streets and parking located internal to the block to the rear of buildings. It is appropriate for civic and institutional buildings to be setback greater distances from the street to create appropriate lawns, landscaped open spaces and plazas within Downtown Erwin.

**A. Build-to Zone**

- Civic and institutional buildings are not restricted by a build-to zone within the overlay

district.

- Setbacks shall be regulated by applicable sections of the Erwin Zoning Ordinance.

#### B. Pedestrian Zone

- An 8 feet minimum width is required along primary streets.
- An 8 feet minimum width is required along secondary streets Wider pedestrian zones and/or deeper building setbacks should be considered at main entries to buildings with large assembly occupancies
- Wider pedestrian zones and/or deeper building setbacks should be considered at main entries to buildings with large assembly occupancies.

#### C. Access Parking

- Driveway access from primary streets is discouraged.
- On corner lots, driveway access may only be provided from either a secondary street or an alley.
- On interior lots, driveway access should be provided from either a secondary street or an alley; for special interior lot conditions, a single driveway access point may be provided to a primary street
- A point for vehicle access onto a street shall not exceed 24 feet in width.
- The sharing of parking lots, joint access drives and cross access easements is highly encouraged.
- Off-street parking shall not be permitted in front of a building.

#### D. Landscaping and Screening.

- Landscaped open spaces are appropriate between buildings and the pedestrian zone.
- Low site walls and decorative fencing are appropriate along lot frontages.  
(See Article IV, Section 3)

**Figure 3.3 Civic & Institutional**



## ARTICLE IV

### STREETSCAPE ELEMENTS

#### Section 1

##### **Pedestrian Zone**

The pedestrian zone is defined as the area between the back edge of the street curb (or edge of pavement where no curb is present) and the build-to zone for each lot. The pedestrian zone shall be provided regardless of the location of the right-of-way. Where sufficient distance does not exist between the existing street edge and the right-of-way for the sidewalk; the sidewalk (or portion of the sidewalk) shall be constructed on the lot and a public access easement shall be granted.

Elements designed for and placed within the pedestrian zone should be primarily focused on providing a safe and pleasant experience for pedestrians. Such elements may include sidewalks, street trees, landscaping strips, street lamps, waste receptacles, park benches, outdoor café seating, way-finding signage and utilities.

Although certain pedestrian zone elements are not necessarily the responsibility of property developers or owners, they are included in the Design Standard and Guidelines to assist the Town of Erwin in making appropriate decisions as they implement future streetscape improvement programs.

All design standard guideline recommendations made below are subject to review and approval by the governmental agencies having jurisdiction over any particular public right-of-way. These may include the State of Tennessee (TDOT), Unicoi County and the Town of Erwin.

- Commercial and mixed-use lots fronting a public right-of-way shall have a continuous sidewalk no less than 8 feet in width along the entire lot frontage.
- Transitional and civic and institutional lots fronting a public right-of-way shall have a continuous sidewalk no less than 5 feet in width along the entire lot frontage.
- Deciduous shade-producing street trees should be planted with in pedestrian zones as per recommended in the Erwin Downtown Streetscape Masterplan.
- Street lamps, sign poles, bollards and waste receptacles shall be coordinated with the Erwin Downtown Streetscape Masterplan.
- All improvements shall meet applicable accessibility requirements.
- Sidewalks and crosswalks should include textured and/or colored materials that differentiate them from vehicular travel ways.
- Utility services, meters, boxes, etc. should be located to the rear of buildings or underground where practicable.

**Figure 4.1 Pedestrian Zone**



Although a planting strip has been provided between the curb and sidewalk, the lack of street trees and shade discourages pedestrians from using this sidewalk in warmer months



Street trees, planted in structural soil with tree grates, will grow to provide a beautiful pedestrian streetscape that offers shade in warmer months and seasonal color in autumn and spring



This "split sidewalk" is an appropriate way to transition steeper grades along storefronts and provide accessible entry; note that a wider pedestrian zone than typical is needed for this



This suburban sidewalk provides little motivation for people to choose walking vs. driving to their destination and is inappropriate for a downtown setting



Sidewalk cafe dining is encouraged in Downtown Erwin where widths allow unimpeded pedestrian travel; note the use of protective bollards where on-street parking is not provided



This urban sidewalk is really not a sidewalk at all; it is a continuous driveway ramp that tells people cars are more important than pedestrians along this zone; note the parked vehicle blocks the sidewalk



This commercial/residential pedestrian zone provides an appropriate landscape strip with street trees and decorative street lighting; note the sidewalk continues uninterrupted across the driveways



Decorative street lamps, waste receptacles, bicycle racks and park benches are all encouraged within the pedestrian zone; this well-designed Downtown Destination Directory is a good solution for pedestrian wayfinding

**Section 2**

**Parking and Access**

Automobile traffic is vital to a prosperous downtown. Visitors arrive by vehicle and need to find their way to destinations without experiencing unnecessary confusion or delays. However, vehicles are only beneficial to a downtown if there are passengers in them; slowly driving by or stopping at traffic signals and glancing into the storefronts. Once the vehicle is parked and the visitors are on foot, the vehicle becomes a liability to the success of the downtown and competes with limited valuable real estate that could be used for business enterprise or public

benefit.

The Downtown Overlay District standards and guidelines for parking and access are intended to complement the existing off-street parking and access control requirements within this ordinance. Unless otherwise specified in these Design Standards and Guidelines, parking and access control shall be regulated by section 603 of this ordinance, respectively.

- Each off-street parking space within the Downtown Overlay District shall have at least one hundred sixty-two (162) square feet in area (9 feet wide x 18 feet deep minimum) and shall have vehicular access to public street.
- Off-street parking should be located internal to the block and not located along the street frontage.
- Parking lots shall not be located internal to the block and not located along the street frontage.
- A single parking lot aisle may be located in the side yard for interior lots.
- Parking lots shall not be located at street corners.
- Parking lots shall be landscaped according to the Landscape & Screening Section of these design standards and guidelines.
- Street frontage facades of parking garages shall conform to the design standards and guidelines for Commercial and Mixed-use Buildings.
- Parking garages directly fronting primary streets shall have a 40 feet minimum liner building between parking garage and the property line along that street.
- Shared parking areas and cross-access easements are encouraged to improve access control and reduce curb cuts along streets.
- Driveways shall have concrete access aprons that transition street grade to sidewalk grade and maintain an uninterrupted sidewalk across the driveway.
- On-street parking is encouraged as a means of providing front door convenience parking.

## Figure 4.2 Parking & Access



This surface parking lot is inappropriately located at a street corner and lacks appropriate landscape screening



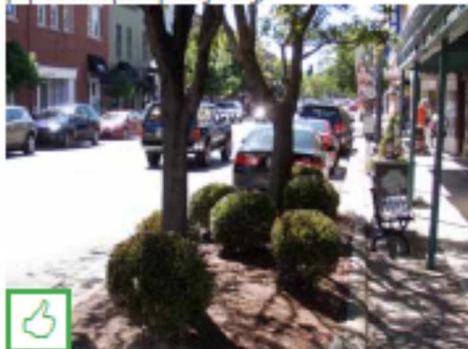
This parking garage has been setback from the property line to provide opportunity for a future liner building fronting the street; this is an appropriate development phasing strategy



This parking garage facade is appropriately designed to compliment the architecture of a historic downtown; note the architectural facade turns the corner



Head-in parking along street frontage is inappropriate for Downtown Enclave; note how the vehicles block the sidewalk and force pedestrians to unsafely walk in the street



On-street parking is necessary to provide convenience parking; note the landscaped bulb-outs that calm traffic speeds and shorten pedestrian crossings



This parking access apron appropriately places the priority on pedestrians by continuing the sidewalk uninterrupted across the driveway



Parking lots located between a street and a building are inappropriate for a pedestrian oriented downtown



This surface parking lot is appropriately located to the rear of a building fronting a primary street and is accessed from a secondary street



This drive-thru canopy is appropriately located to the rear of a building fronting a primary street and is accessed from a secondary street

### **Section 3**

#### **Landscaping and Screening**

The Downtown Overlay District standards and guidelines for landscaping and screening are intended for private and publicly owned lots. Landscaping within the public right-of-way is regulated by the standards and guidelines for Pedestrian Zones and is intended to compliment the Downtown Erwin Streetscape Master Plan.

- Dumpsters and garbage/recycling containers shall be screened from view with a gated enclosure no less than one foot in height taller than the container being screened' enclosures shall be land constructed of opaque materials that compliment the building(s) being served.
- Ground mounted utility cabinets, meters and transformers located in front yards shall be screened from public view with opaque walls and/or landscaping
- Blank building walls (no windows or doors) fronting streets which are setbacks a minimum of 4 feet from the property line shall be landscaped to reduce the impact of the black wall.
- Parking lots, portions of parking lots, driveways and loading zones fronting streets and public open spaces shall have a landscape buffer zone no less than 6 feet wide measured from edge of parking lot pavement to the fronting property line; the landscape zone shall be planted with a minimum of one tree per every 30 feet on-center(2 inch minimum caliper, 6 feet minimum in height) and continuous understory shrubs expected to mature to greater than 30 inches in height from grade; the landscape buffer zone shall only be broken by driveways and pedestrian passageways.
- Parking lots having more than 35 spaces or greater than 12,000 square feet in area shall have interior landscaping islands planted with no less than one canopy tree per 15 parking spaces (2 inches minimum caliper, 6 feet minimum height).
- Hedge rows and wood picket and iron fences (42 inches maximum height) are appropriate in front yards no less than 10 feet deep of civic and institutional, and transitional building types; front yard fences and hedges shall be no less than 18 inches away from the sidewalk or fronting property line.
- Chain link fencing is not appropriate where visible from a public right-of-way with the exception of rear yards of residential properties.
- Buildings owners and/or tenants of zero-lot line buildings fronting sidewalks no less than 8 feet wide many maintain appropriately scaled landscape planters along building frontages; planters and landscaping materials shall not encroach more than 3 feet from the building façade into the sidewalk and shall be no greater than 4 feet in height.

### Figure 4.3 Landscaping & Screening



This blank wall inappropriately creates a harsh edge for pedestrians and lacks appropriate landscape treatment; note the lack of shade that discourages walking in warmer months



This blank wall has been appropriately landscaped to soften the streetscape and encourage pedestrian activity; note the variety of plant species and levels of plant heights



This storefront appropriately uses finely crafted planter boxes to express individual character and soften the streetscape; note the plantings do not impede views into the storefront



This parking lot lacks appropriate landscape area width and lacks any landscaping to screen the parking lot from the street



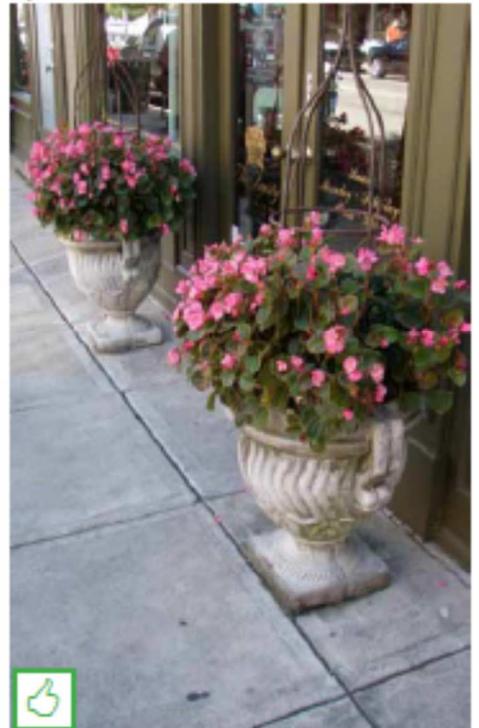
This parking lot is appropriately screened with a landscape area; note the tree species and shape provides low limbs without obstructing the sidewalk



This dumpster is inappropriately located along the street edge and lacks an appropriate screen wall enclosure



This dumpster area is appropriately located to the rear of the building and enclosed with a screen wall; note the screen wall materials are coordinated with the building



These concrete urns appropriately dress-up this storefront and add seasonal color and interest to the streetscape; note that these urns do not impede pedestrian travel on the sidewalk

## ARTICLE V

### COMMERCIAL AND MIXED-USE BUILDING STANDARDS AND GUIDELINES

#### Section 1

##### Commercial and Mixed-Use

The following standards and guidelines are intended to achieve appropriate building design for Commercial and Mixed-Use buildings in Downtown Erwin. The diagram presented on this page illustrates examples of appropriate building design, massing and elements. It is not intended to regulate stylistic design.

#### A. Height of Building

Building height shall conform to the requirements of the applicable base zoning district as specified in Article VIII, Table 801.

- Buildings owners and/or tenants of zero-lot line buildings fronting sidewalks no less than 8 feet wide many maintain appropriately scaled landscape planters along building frontages; planters and landscaping materials shall not encroach more than 3 feet from the building façade into the sidewalk and shall be no greater than 4 feet in height.
- For multiple story buildings, the minimum first floor height shall be 14 feet from finished floor to finished floor.

#### B. Street Fronting Facades

100% of the façade width of any interior lot building shall conform to the façade standards and guidelines. For corner lot buildings fronting both a primary and secondary street, 100% of the width of any façade fronting a primary street shall conform to the façade standards and guidelines and no less than 20 feet of continuous façade width measured from the fronting corner of the building along the secondary street shall comply.

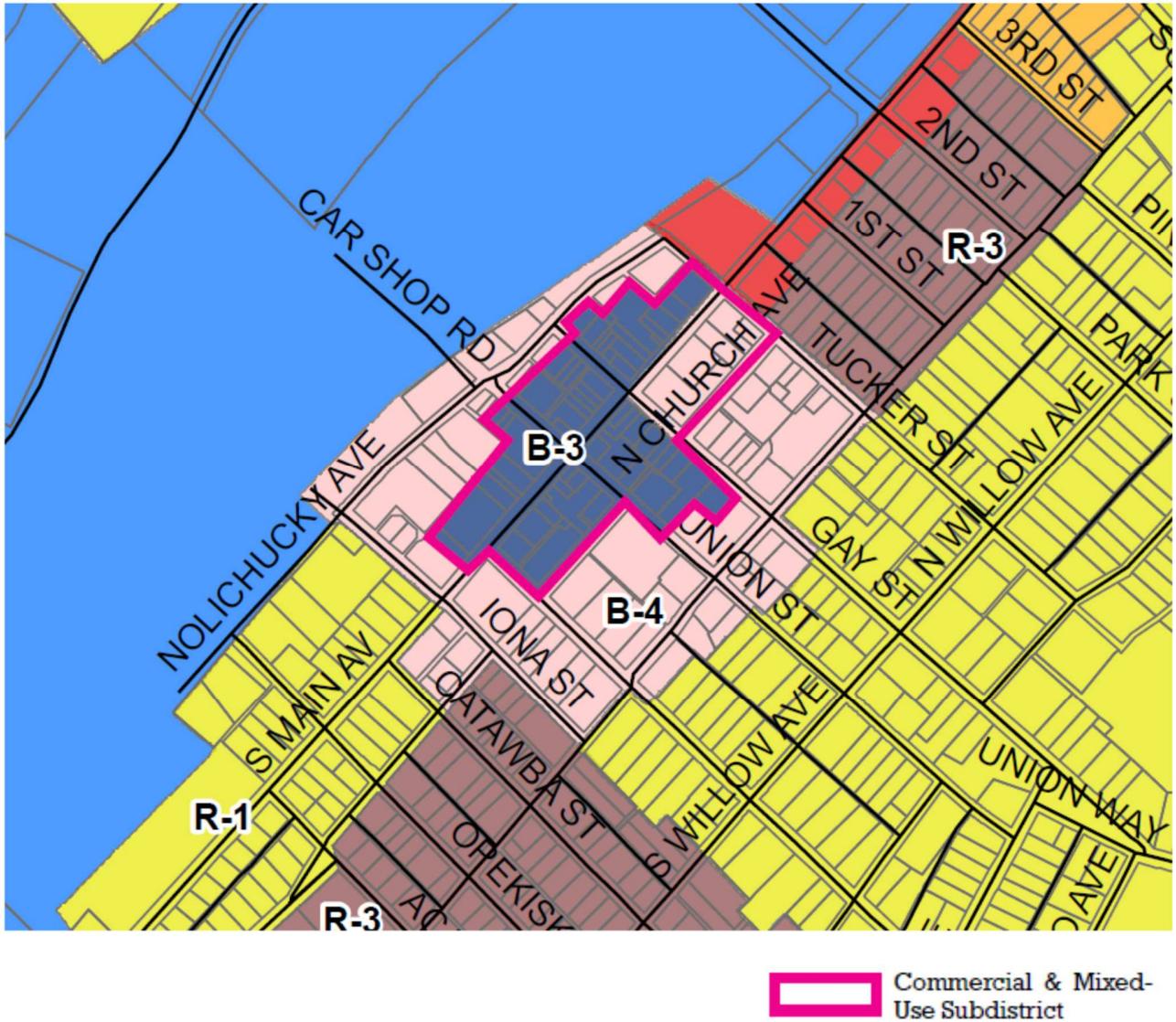
- Multi-story building facades should be architecturally detailed to present a base, shaft and cap; architecturally detailed to present a base, shaft and cap; architectural details may include such elements as water tables, pediments, cornices, material variations and color variations.
- Building facades shall be articulated into distinct façade bays of no more than 25 feet in width. Articulations may be made with architectural elements such as columns and pilasters, wall projections and/or recesses and variations of materials and colors.
- A minimum of 40% of the ground floor façade area shall be transparent (façade

- area includes parapet walls and roof forms for single story buildings).
- A minimum of 25% of the façade area of upper floors shall be transparent (façade area includes parapet wall and roof forms).

**Figure 5.1.1. Commercial & Mixed-Use**



Figure 5.1.2. Commercial & Mixed-Use Subdistrict



### C. Façade Walls

The Façade Wall is the exterior wall of a building that fronts a street or public open space. It is the metaphorical “skin” of the building and plays a foundational role in establishing its architectural character. Furthermore, the sum of the architectural character of all the building facades in the downtown composes the historic visual character of Downtown Erwin as a whole.

Downtown Erwin is fortunate that many buildings owners have maintained their

original, historic building facades over time. However, a few historic building facades have either fallen into disrepair or have been encapsulated and covered from view by newer materials and designs that are not supportive of Downtown Erwin's historic character.

The design standards and guidelines below are intended to apply to new construction and to guide renovation/restoration of existing historic building façade walls:

- Multi-story building facades shall be architecturally detailed to present a base, shaft and cap; architectural details may include such elements as water tables, pediments, cornices, material variations and color variations.
- Building facades shall be articulated into distinct façade bays of no more than 15 feet in width. Articulations may be made with architectural elements such as columns and pilasters, wall projections and/or recesses and variation of materials and colors.
- Covering or encapsulating original historic building façade walls with new construction is not permitted; new in-fill construction is permitted where it is used to restore the original façade wall.
- Original building façade walls should be stored as practical.
- Appropriate Materials.

**Figure 5.1.3. Façade Walls**



Façade walls lacking appropriate architectural horizontal and vertical articulation are not permitted



This simple one-story façade wall includes a detailed brick cornice cap and horizontal façade bay articulation with columns in the storefront

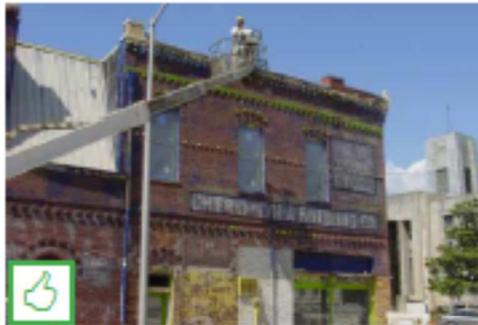


This two-story corner façade includes an appropriately detailed corner entry bay and brick cornice detailing

**RENOVATION**



Covering or encapsulating original building façade walls is not permitted; note the original brick cornice detail beneath the siding



Original brick façade walls shall be restored where practicable by tuck-pointing and repairing the brick; this photo is during restoration



Restored brick façade walls may be either painted and/or remain natural; note this end wall has both applications



Original building façade walls shall not be covered or encapsulated with new brick veneer facades



New brick in-fill is permitted where it is used to restore the original façade wall; note the appropriate upper story windows in this construction photo (see photo to right)



New brick in-fill was used to restore the upper story façade wall and window pattern and was painted to create a uniform façade (see photo to left)

#### D. Roofs

Commercial/Mixed-use roof forms in Downtown Erwin are typically low-pitched roofs with parapet walls along the building façades. These roofs typically slope from the front building façade to the rear façade where storm water is collected with gutters and conveyed through downspouts to either the storm sewer or open grade.

Historic precedent for architectural detailing of parapet wall in Downtown Erwin is primarily brick detail with stone or tile coping. Brick corbelling, soldier coursing and variations in brick style and color are used to define a visual façade “cap” at the parapet wall. Although more elaborate cornices are not commonly found in Downtown Erwin, they are considered historically appropriate to the region and are permitted.

The following design standards and guidelines apply to roofs of commercial/mixed-use buildings:

- Steep pitched roof forms are not permitted.
- Fake mansard style roofs are not permitted.
- Gable and hip roof forms and pediments are not permitted.
- Roofs shall have a parapet wall along each street-fronting building façade.
- Parapet walls shall align with the building façade wall.
- Parapet walls should be tall enough to conceal any roof mounted mechanical equipment from street views.
- Parapet walls are permitted to step along façade walls of corner buildings fronting secondary streets to match roof pitches.
- Appropriately detailed mansard roofs that are integrally designed as part of the building are permitted.

**Figure 5.1.4. Roofs**



Fake mansard-style roofs are not permitted in Downtown Erwin



Roofing materials shall not be used as facade wall materials



Appropriately detailed mansard roofs that are integrally designed as part of the building are permitted; note the slate shingles and dormers

**PARAPET WALLS**



Gable and hip roof forms and pediments are not permitted for commercial/mixed-use buildings in Downtown Erwin



Low-pitched roofs are permitted and shall present a parapet wall at the building facade; note the simple, and appropriate, brick soldier cornice



Appropriately detailed cornices are permitted on parapet walls



Parapet walls shall align with the building facade wall; this strip mall roof inappropriately protrudes beyond the facade wall



A variety of appropriate architectural styles can be expressed with the parapet wall



Parapets are permitted to step along facade walls of corner buildings fronting secondary streets to match roof pitches

**E. Storefronts**

Well-designed commercial storefronts are perhaps the most vital architectural elements in a vibrant and successful downtown. The ability for pedestrians and motorists to see into the building and window shop is critical for successful business in an area where large amounts of parking are not readily available at the front door. Likewise, transparent front allow interior illumination and commercial activity to visibly extend beyond the wall of the buildings into the streetscape.

- Storefront opening of existing buildings shall not be in-filled or covered with opaque materials; restoration/renovation of full storefront openings is highly

encouraged.

- Transom windows above storefronts shall not be in-filled or covered with opaque materials; restoration/renovations of transom windows is highly encouraged.
- Recessed entry vestibules are appropriate in storefronts and are encouraged in Downtown Erwin due to limited sidewalk widths.
- Storefront window sills shall be no higher than 3 feet measure from finished floor adjacent to window.
- Storefront window heads and transom window heads shall be aligned at a common elevation across the building façade.
- Punched window openings are not permitted for retail storefronts fronting a Primary Street (punched openings are allowed on facades of retail corner buildings fronting a Secondary Street).
- Vertically proportioned punched window openings are permitted for office storefronts (vertical proportion shall be no less than 1 unit wide x 2 units high; replacement windows for historic punched storefront window openings shall fill the entire masonry opening and shall be inset and trimmed appropriately into the masonry opening).
- Residential windows and doors are inappropriate for commercial storefronts regardless of retail or office use.
- Appropriate storefront materials include painted metal, pre-finished aluminum, painted wood and fiberglass systems.
- Inappropriate storefront materials include vinyl siding, wood siding, metal siding, rustic stone and vertically applied ceramic tile.
- Mirrored glazing and dark tinted glazing are inappropriate for storefronts.
- Decorative glass block and glazing presenting the appearance of a glass block pattern is a unique element in Downtown Erwin and is appropriate for storefront transom windows.

**Figure 5.1.5. Storefronts**



Residential windows and siding materials are inappropriate for commercial storefronts



Metal storefront systems and glazing that allow for commercial window displays are appropriate and encouraged



Pre-finished aluminum storefront systems are appropriate for new construction and renovations

**OFFICE STOREFRONTS**



Furched window openings and residential doors are inappropriate for commercial storefronts and ground floor office uses



This ground floor office presents an appropriately detailed, decorative wood storefront



Pre-finished aluminum storefront systems are appropriate for ground floor office uses as the building may change to a retail use in the future

**TRANSOM WINDOWS**



Transom windows above storefronts shall remain glazed and shall not be infilled or covered with opaque materials



This appropriately detailed wood storefront has a recessed entry common to Downtown Erwin; note the transom windows continue across the face of the recessed entry



This historic building on Main Avenue maintains appropriate transom windows as an original and integral part of the storefront

**F. Upper Story Windows**

Upper story windows are important architectural elements as they allow light into the building's interior spaces while providing views out to the streetscape and beyond. These windows create metaphorical "eyes on the street" that help provide a sense of security and further encourage pedestrian activity.

Historic precedent for upper story windows in Downtown Erwin can be categorized into two main styles; rectangular and semi-circular arch-top windows. Eyebrow arch-top windows are not found in Downtown Erwin, but are considered regionally and

historically appropriate.

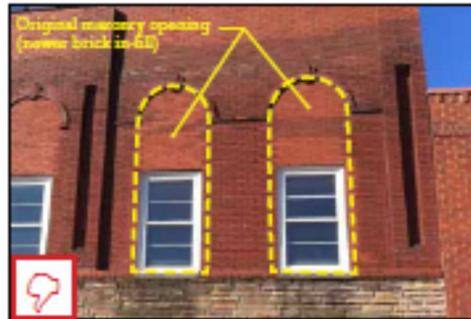
The following design standards and guidelines apply to upper story windows of commercial/mixed use buildings (exceptions are permitted for special-use buildings such as theaters):

- Window openings of existing buildings shall not be in-filled or covered with opaque materials; restoration/renovation of full window openings is highly encouraged.
- Replacement windows for existing buildings shall be sized to match the original masonry openings and shall be inset and trimmed appropriately into the masonry opening; in-fill panels are not permitted.
- Window heads shall be aligned at a common elevation across the building facade at each upper floor; exceptions may be permitted for unique architectural designs.
- Horizontally proportioned windows (less than 1 unit wide x 2 units high) and “ribbon windows” are not permitted.
- Sashes shall have no more than four divided lights (or simulated divided lights) per sash.
- Sashes with simulated divided lights (SDL) shall have muntin grilles applied to the exterior face of glazing; these sashes may have additional internally applied muntin grilles and spacer bars between layers of glazing.

**Figure 5.1.6. Upper Story Windows**



Vinyl residential window and any window inappropriately sized for the original masonry opening are not permitted



In-filling original masonry openings to accommodate inappropriately sized replacement windows is not permitted



Commercial-grade replacement windows shall be sized appropriately to match the original masonry openings

**WINDOW PROPORTIONS**



Horizontally proportioned windows and "ribbon windows" are inappropriate for upper stories in Downtown Erwin

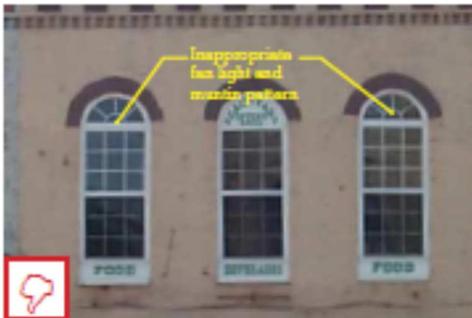


Vertically proportioned windows (2:1 minimum) are appropriate for the upper stories of new buildings in Downtown Erwin



Vertically proportioned windows that exceed the 2:1 ratio are appropriate for upper stories

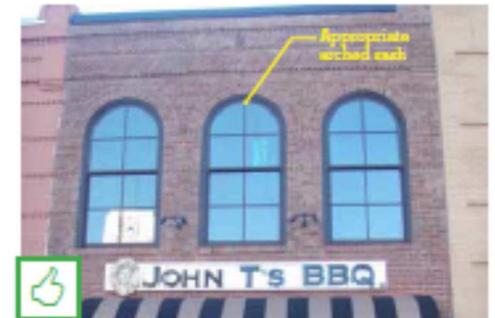
**WINDOW SASHES**



Muntin patterns greater than four-over-four are inappropriate for windows of commercial/mixed-use buildings in Downtown Erwin



Muntin patterns of four-over-four or less are appropriate for windows of commercial/mixed-use buildings in Downtown Erwin; note the appropriate 3-light fan pattern



Arch-top sashes are appropriate; note appropriate four-over-four muntin pattern

**G. Awnings and Canopies**

Awnings and canopies are important façade elements that provide sun shading and shelter from inclement weather for pedestrians. These elements also provide an opportunity for unique tenant branding, color and signage.

Awning and canopy precedent in Downtown Erwin includes both fabric awnings and suspended metal canopies. Appropriate versions of both styles are permitted.

- Awnings shall be sized appropriately to match storefront window and entry

doors; single awnings should not be set over more than one door or window bay.

- Awnings are only permitted over building storefronts and entrances; upper story window applications are not permitted.
- Storefront awnings may be either affixed at the head of the transom windows or between the head of the storefront and the sill of the transom windows.
- Awnings may be either fixed frame or operable; operable awnings shall be roller awnings with scissor arm or lateral arm mechanisms.
- Traditional shed awnings are appropriate for most window, door and storefront installations; barrel or quarter-round awnings are not permitted.
- Dome shaped awnings are only permitted for arch-top windows and doors and shall be sized to match the window or door head.
- Awning valances are permitted and may contain lettering to function as signage.
- Vinyl, fiberglass and metal awnings are not permitted; weather-resistant acrylic fabrics that resemble a canvas texture are encouraged.
- Internally illuminated or “glowing” awnings are not permitted.
- Flat metal canopies suspended from the building facade are permitted, however they are discouraged due to accumulation of rail- road coal dust, trash, leaves and other debris that may blow loose with high winds.
- Suspended or cantilevered marquis are only permitted for theaters.

**Figure 5.1.7. Awnings & Canopies**



Dome shaped awnings are only permitted for arch-top windows and doors and shall be sized to match the opening



Internally illuminated or "glowing" awnings are not permitted



Simple shed awnings are historically accurate and are permitted either with or without a valance or end panels

**CANOPIES**



Unfinished metal canopies and canopies with exposed metal roof decking are not permitted



Metal canopies shall have a finished ceiling and may only be set between the storefront head and transom window sill



Marquees are only permitted for theaters

**PLACEMENT**



Awnings and canopies are not permitted for upper story windows



Awnings may be placed above the head of storefront transom windows; note appropriate size for window bays



Awnings may be placed between the storefront head and the transom sill

**H. Building Lighting**

Illumination of building facades is important to creating a healthy and vibrant downtown at night. Illumination provides a comforting sense of safety and can be used to accent architectural features, building entries and building signage.

Lighting fixtures should be selected that respect the historic character of Downtown Erwin and that do not compete to overwhelm the streetscape with excessive brightness or glare.

The following design standards and guidelines apply to façade lighting of commercial/mixed-use buildings:

- Façade lighting shall only be used to illuminate specific architectural elements/ornamentation, storefront displays, highlight building entries or illuminate signage and awnings; illumination of entire building facades, or wall washing, is not permitted.
- Light fixtures may only be used to illuminate on-site elements; fixtures are not permitted that are intended to cast light onto adjacent building facades.
- Visible fluorescent tubes (T lamps), exposed exterior neon lighting, colored bulbs (except for seasonal decoration) and internally illuminated awnings are inappropriate.
- Electric boxes, transformer utilities, and conduits should be concealed from view.
- “Wall-pack” fixtures and high intensity discharge lamps (e.g. sodium and metal halide) shall only be permitted for illuminating service areas and parking areas; they are not permitted for illuminating building facade elements.
- Compact fluorescent lamps (CFL) and incandescent lamps are permitted.
- No fixtures should have any blinking, flashing or fluttering lights or other illuminating device which has a changing light intensity, brightness or color, nor is any beacon light permitted, except those required for fire alarm and/or emergency systems.
- For multi-story buildings, building mounted lighting fixtures are not permitted at an elevation higher than the sill of second story windows.
- Roof mounted or parapet mounted light fixtures are not permitted.
- Traditionally styled fixtures or appropriately scaled contemporary fixtures are recommended; lighting may be in the form of gooseneck fixtures attached to the façade, or by means of accent pendants or sconces and should be coordinated with the building design to be in keeping with the style of architecture.

**Figure 5.1.8. Building Lighting**



Lighting fixtures mounted to roofs and parapet walls are not permitted; note this fixture is inappropriately illuminating a facade across the street



Contemporary interpretations of historic fixtures are permitted; note the shields that resemble those found on railroad lanterns



Lighting fixtures should be coordinated with the building design to be in keeping with the style of architecture



"Wall packs" and high intensity discharge (HID) fixtures are not permitted on building facades



Suspended lantern sconces are appropriate for illuminating building entries



For multi-story buildings, building mounted lighting fixtures are not permitted at an elevation higher than the sill of second story windows



Facade mounted goose-neck fixtures are appropriate and may be used to illuminate awnings and signs



Goose neck fixtures shall have shields that focus light toward the building facade and prevent glare

## **Section 2**

### **Transitional Building Standards and Guidelines**

The following standards and guidelines are intended to achieve appropriate building design for Transitional buildings in Downtown Erwin. The diagram presented on this page illustrates example of appropriate building design, massing and elements. It is not intended to regulate stylistic design.

#### **A. Height of Building**

Building height shall conform to the requirements of the applicable base zoning district as specified in Article VIII, Table 801.

- It is recommended that maximum building heights be limited to 2 stories where fronting adjacent residential zoning districts to provide an appropriate transition in scale to adjacent residential lots.

#### **B. Street Fronting Facades**

100% of the facade width of any interior lot building shall conform to the following facade standards guidelines. For corner lot buildings fronting both a primary and secondary street, 100% of the width of any facade fronting a primary street shall conform to the following facade standards and guidelines and no less than 20 feet of continuous facade width measured from the fronting corner of the building along the secondary street shall comply.

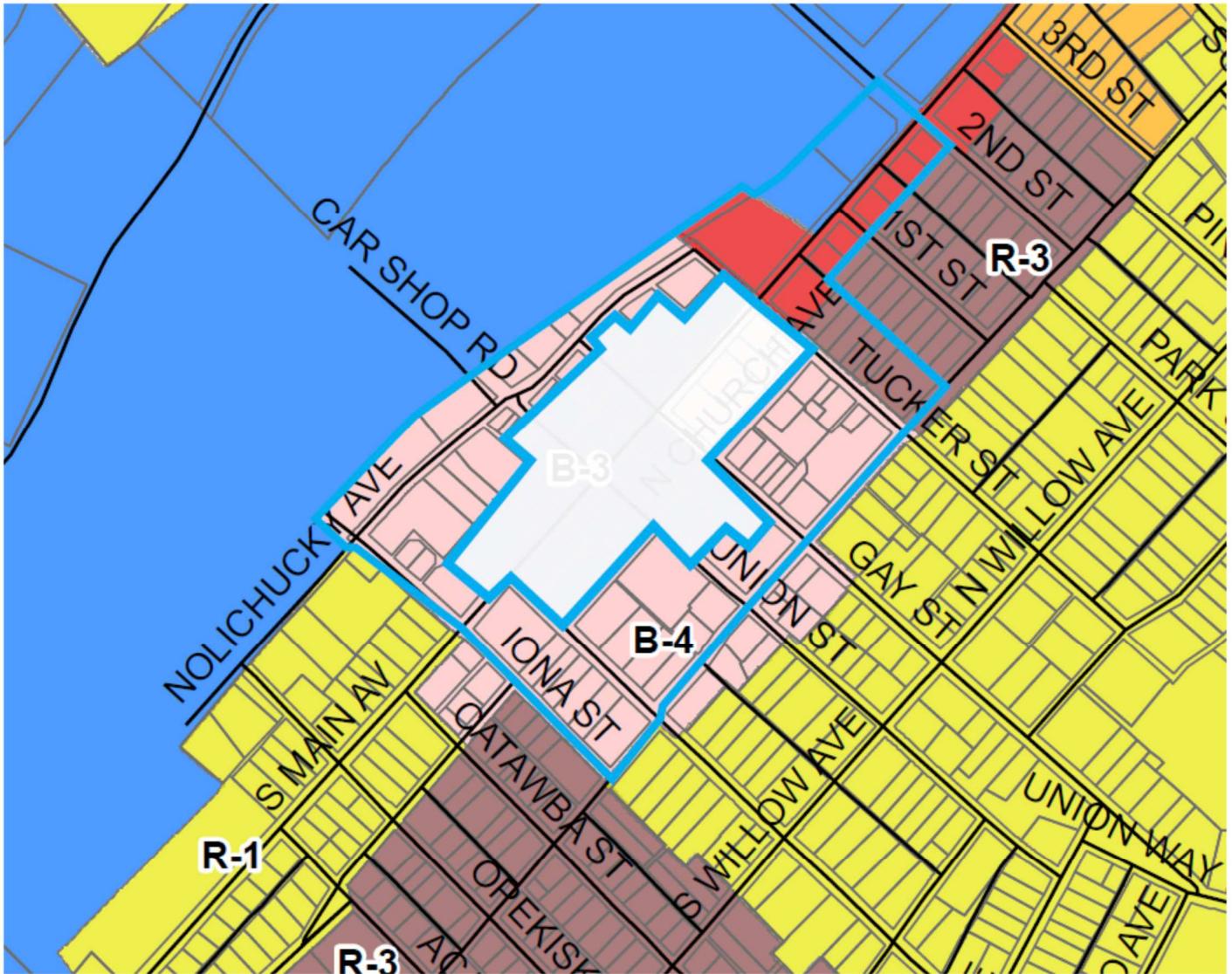
- Building facades shall be articulated into distinct façade bays of no more than 25 feet in width. Articulations may be made with architectural elements such as columns and pilasters, wall projections and/or recesses and variations of materials and colors.
- A minimum of 40% of the ground floor facade area for commercial uses shall be transparent (facade area includes parapet walls and roof forms for single story buildings).
- A minimum of 25% of the facade area of upper floors shall be transparent (facade area includes parapet walls and roof forms).
- Porches and stoops are appropriate.
- Awnings are appropriate for ground floor commercial uses.
- Storefront window systems shall be no wider than 25 feet without being articulated by another building element.
- Maximum sill height for commercial ground floor windows shall be no more than 3 feet above finished floor.
- Windows of transitional buildings should be vertically proportioned.
- Reflective glass and dark tinted glass are discouraged.
- A minimum of one building entrance shall be provided fronting the pedestrian zone and accessed from a public sidewalk.

- All doors fronting pedestrian zones should be fully glazed; exceptions for ground floor office and residential uses and for secondary doors accessing stairwells and emergency egress may be permitted.

Figure 5.2.1. Transition Building



Figure 5.2.2. Transition Subdistrict



 Transitional Subdistrict

### C. Roofs

- Sloped roofs are appropriate and may be concealed from view with a parapet wall.
- False mansard type roofs and overhanging fascia type roofs shall not be permitted.
- Pre-engineered metal building roofs shall be concealed by parapet wall fronting all streets.

### D. Materials (refer to Appendix A)

- Materials, colors and textures should be compatible with historic building surrounding the Courthouse Square in Downtown Erwin.
- Vinyl siding shall not be permitted; wood cementitious (hardi, etc.) siding is recommended.
- Metal siding, stucco and E.I.F.S. are not permitted materials for cladding building walls and shall be limited to architectural detailing.

### E. Awning and Canopies

- Awnings and canopies may only be applied over building storefronts and entrances; upper story applications are not permitted.
- Vinyl and metal awnings shall not be permitted; metal canopies suspended from the building structure are permitted.
- Convex, barrel and dome awnings are not permitted.
- Internally illuminated or “glowing” awnings are not permitted.

**Figure 5.2.3. Transition Building**

**ROOF TYPES**



This metal, overhanging hipped mansard roof is inappropriate for downtown Erwin; note also the inappropriate use of painted concrete block as a facade material



Sweep sloped roofs with parapet walls are appropriate for transitional buildings; note the appropriate outdoor cafe area surrounded by a low brick wall



This street wall illustrates a variety of ways to appropriately detail roof forms for townhome transitional buildings; note the appropriate use of dormers and a corner porch and tower element at the street corner

**WINDOWS & DOORS**



These round-topped storefront windows and residential scaled door are inappropriate for commercial ground floor



This appropriate commercial storefront presents an appealing streetscape for pedestrians; note the appropriately proportioned windows on the upper floor



Front porches and stoops are appropriate entry elements for transitional buildings; note the appropriate window shutters that are sized to match the window width when closed

**MATERIALS**



EIFS (Exterior Insulation Finishing System) is an inappropriate building facade material for Downtown Erwin



This streetscape illustrates appropriate use of brick and conventional lap siding as an appropriate facade material for transitional buildings



This streetscape illustrates an appropriate variety of facade materials that help define the articulated facade bays of the individual townhomes

**Section 3**

**Civic and Institutional Building Standards and Guidelines**

The following standards and guidelines are intended to achieve appropriate building design for Transitional buildings in Downtown Erwin. The diagram presented on this page illustrates example of appropriate building design, massing and elements. It is not intended to regulate stylistic design.

A. Height of Building

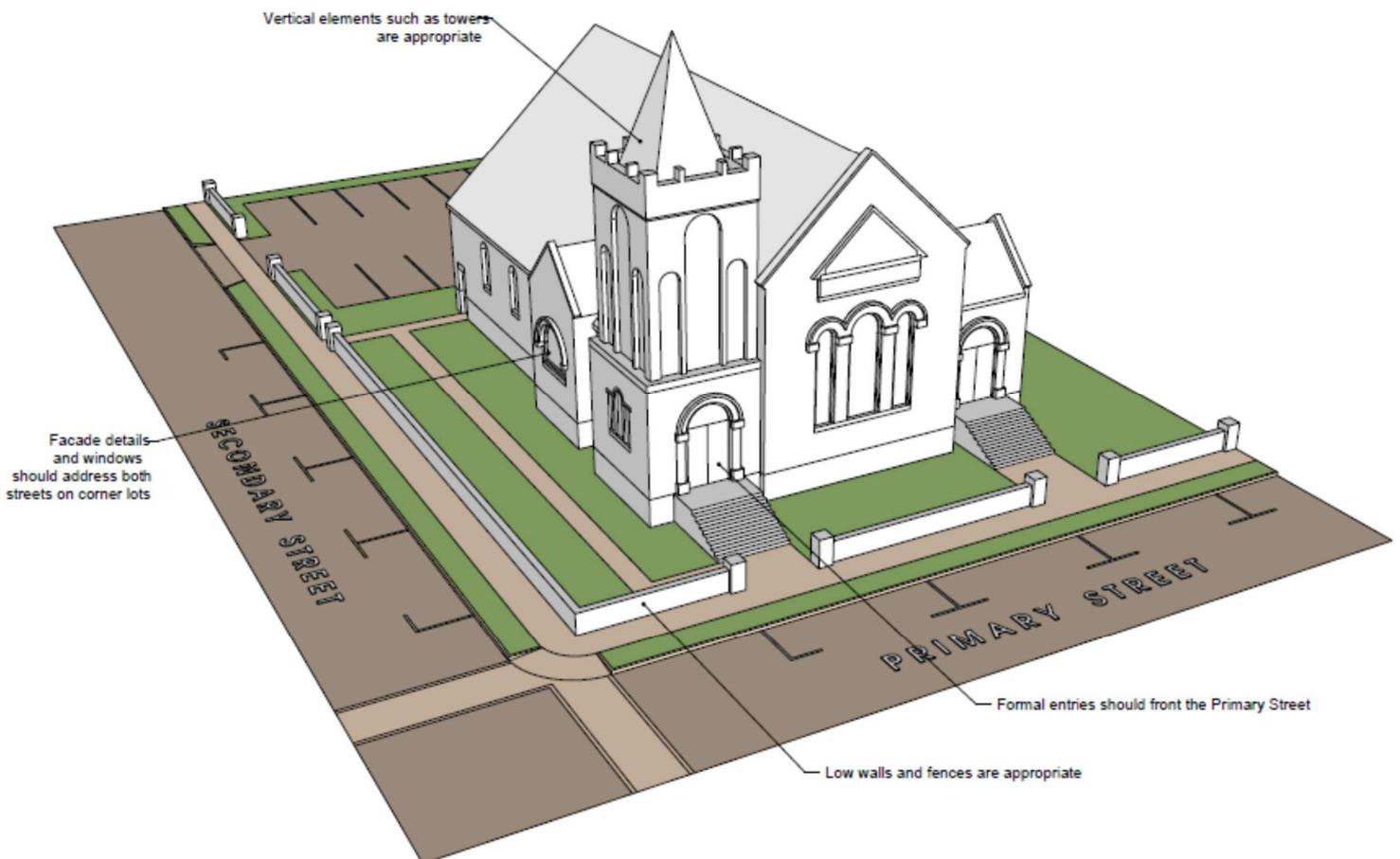
Building height shall conform to the requirements of the applicable base zoning district as specified in Article VIII, 801.

B. Street fronting facades

100% of the façade width of any interior lot building shall conform to the following façade standards and guidelines. For corner lot buildings fronting both a primary and secondary street, the following façade standards and guidelines shall apply to both fronting facades of the building.

- Building facades shall be articulated into distinct façade bays proportioned vertically (no wider than they are in height). Articulations may be made with architectural elements such as columns and pilasters, wall projections and/or recesses and variations of materials and color.
- At least one primary building entrance should front the primary street with direct pedestrian access to the entrance.
- Reflective glass and dark tinted glass are discouraged.

**Figure 5.3.1. Civic & Institutional**



#### C. Roofs

- False mansard type roofs and overhanging fascia type roofs shall not be permitted.
- Pre-engineered metal building roofs shall be concealed by a parapet wall fronting all streets.

#### D. Materials (refer to Appendix A)

- Materials, colors and textures should be compatible with historic building surrounding the Courthouse Square in Downtown Erwin.
- Vinyl siding shall not be permitted.
- Metal siding, stucco and E.I.F.S. are not permitted materials for cladding building walls and shall be limited to architectural detailing.

#### E. Awnings and canopies

- Awnings and canopies may only be applied over buildings storefronts and entrances; upper story applications are not permitted.
- Convex, barrel and dome awnings are not permitted.
- Vinyl and metal awnings shall not be permitted; metal canopies suspended from the building structure are not permitted.
- Internally illuminated or “glowing” awnings are not permitted.

### Figure 5.3.2. Civic & Institutional



This sanctuary building lacks appropriate massing detail; it presents a facade of large, flat, windowless walls and is surrounded by a large parking lot on all sides



This sanctuary building presents appropriate massing and architectural detailing that complements a pedestrian-oriented downtown; note the appropriate lower element at the street corner



This smaller scaled sanctuary building illustrates an appropriate relationship of the building to the street; note the appropriate simple massing, roof forms, window proportions and architectural detailing



This civic building lacks appropriate facade detailing and windows and is clad inappropriately with industrial metal siding and I.J.S.



This small public library building appropriately addresses the street with a formal entry; note the use of masonry and stone with appropriate architectural detailing that signifies that this is a public building



This municipal utility office building lacks appropriate facade detail and inappropriately places the parking lot and drive-thru lane at the street corner; note the lack of a sidewalk on the secondary street



This college campus building has an appropriate architectural facade, massing and roof form; note that a deeper front building setback and landscaped front yard are appropriate for civic buildings



This public library building has appropriate architectural detailing and materials for downtown; note the deeper setback that creates a brick plaza at the main entry

## ARTICLE VI

### SIGNAGE

Signage that supports a pedestrian friendly downtown is quite different than that found in more automobile oriented areas of the Town and County. Large sign areas, tall sign heights and oversized graphics that are needed for legibility from longer distances and faster travel speeds along highway corridors are not appropriate in a downtown setting. Downtown Erwin is a place to visit; a destination. Its signage should creatively express business individuality within the downtown context and not strive to achieve individual dominance. Downtown signage should be scaled and crafted to predominantly advertise its message to pedestrians. This calls for a higher level of craftsmanship, quality materials and fine detail that is viewed up-close at a walking pace while also being legible from a slowly passing vehicle.

The Downtown Overlay District standards and guidelines for signage are intended to complement the existing signage regulations within this ordinance. Unless otherwise specified in these Design Standards and Guidelines, signage shall be regulated by the Town of Erwin Sign Ordinance for each relative underlying base zoning district. The signage standards and guidelines are intended to regulate the quality, craftsmanship and placement of signage and introduce additional signage types that are appropriate for Downtown Erwin while prohibiting those that are detrimental to its character.

Although the signage standards and guidelines do not regulate content or message; it is recommended that signage within the Downtown Overlay District solely display the name, type of business and/or graphic logo associated with the particular business advertised. Phone numbers, business hours and other incidental information should be displayed with small storefront graphics and should not be displayed on primary business signs.

Signage permitted prior to the adoption of the Erwin Downtown Design Standards and Guidelines is considered “Grandfathered” and shall not be required to conform to the standards and guidelines herein unless the existing sign is substantially improved or replaced. Any new signage within the Downtown Overlay District requiring a permit shall conform to the signage standards and guidelines.

Wall signs applied parallel to the building façade of multi-story building should be placed in the area between the head of the storefront windows and the sill of the second story windows (the so-called signage band). On single-story buildings, these wall signs should be placed in the area between the head of the storefront windows and the parapet wall or roof eave.

### Figure 6.1.1. Signage



These signs are inappropriately located within the storefront opening



1/4 barrel awnings both with and without dome ends are inappropriate



Changeable copy signs are inappropriate except for theater marquees, fuel sales signs and for non-commercial Civic and Institutional uses.



Pole mounted signs and ground signs are inappropriate within the downtown overlay district



Signs painted on flat sheet metal, plastic or plywood and applied vinyl letters and graphics on solid backgrounds are inappropriate



Banners displaying a commercial message are inappropriate for Downtown Irwin unless used as temporary signage. Internally illuminated cabinet signs are also inappropriate.



Internally illuminated cabinet signs are inappropriate for Downtown Irwin. This sign's large size is also inappropriate as it is intended to be read from across a large parking lot and highway

A. Signage Types Prohibited:

- Pole signs or banjo signs of any height.
- Ground signs for building setbacks less than 25 feet from the front property line; sign must be located outside of the public right-of-way.
- Ground signs more than 6 feet in height.
- Signs with changeable copy or letter boards displaying a commercial message (civic and institutional uses, theater marquee signs and fuel sales signs are exempt).
- Internally illuminated cabinet signs and pan-formed signs.
- Adhered vinyl letters, numbers or graphics used for an exterior sign application (window graphics applied to storefront glazing are exempt).
- Signs using fluorescent or “day-glo” colors.
- Internally illuminated awnings.
- Electronic message boards used for commercial advertisement (civic and institutional uses and fuel sales are exempt).
- Signage with any portion located above the eave or parapet of a building.
- Flashing or intermittent illumination signs.
- Window posters, temporary advertisements or other signs individually or collectively covering more than 25 % of the total interior or exterior storefront glazing area of a business.

B. Additional signage Types Allowed:

- Painted and/or applied window graphics and letters.
- Signs hanging from brackets mounted perpendicular to the building wall no less than 8 feet from grade to bottom of sign.
- Wall signs or flat signs (also commonly known as a blade sign projecting perpendicular from the building façade no less than 9 feet in height from adjacent grade to bottom of sign; only located at building corners and top of sign no higher than the finished floor level of 3<sup>rd</sup> floor.
- Wall mounted restaurant menu cabinets (4 square feet maximum).

## Figure 6.1.2. Signage



This well-crafted, exterior illuminated panel sign is appropriately located between the storefront transoms, window heads and the sill of the second story windows.



This simple shed awning is an appropriate awning style for Downtown Erwin; note the appropriate scale, coordinating color and the correct placement of the awning above the storefront entry.



Well-crafted and modestly scaled bracket signs are appropriate for Downtown Erwin; note the appropriate 3-dimensional routed lettering, sculpted graphics and coordinated bracket shape.



Indirectly illuminated individual letters and graphics are appropriate types of wall signs; note appropriate placement above storefront.



Sidewalk "sandwich board" signs are appropriate for cafe and restaurant uses so long as they do not impede pedestrian to-ways.



These stylized applied window graphics are appropriately crafted and scaled for the storefront; window graphics should not impede views into the storefront.



Indirectly illuminated blade signs are appropriate for upper floor placement only on building corners; note the appropriate scale and craftsmanship of the sign.



Signage advertising upper floor businesses should be kept to a pedestrian scale and located near the entry to an upper floor stair or elevator lobby.

The following standards and guidelines are intended to achieve appropriate usage of building materials in Downtown Erwin. Both appropriate and inappropriate building materials are presented by type of building; Commercial and Mixed-use, Transitional and Civic and Institutional.

## APPENDIX “A”

### *Appropriate Commercial & Mixed-use Building Materials*

#### **Appropriate Building Cladding**

##### **façade wall)**

- Modular brick
- Painted modular brick
- Cut stone (ashlar pattern)
- Cultered stone (ashlar pattern)

#### **Appropriate Window and Doors**

- Prefinished aluminum storefront system(ground floor only)
- Painted wood storefrontsystem (ground floor only)
- Painted wood windows
- Painted steel windows
- Prefinished aluminum clad wood windows
- Clear or slightly tinted glazing
- True divided lights
- Simulated divided lights (permanent exterior profile grilles)
- Decorative block transom windows

#### **Appropriate Roofs**

- Low-sloped roof systems with parapet walls on street-fronting facades

#### **Appropriate Architectural Detailing**

- Painted wood
- High density rigid polyurethane (HRP)
- Smooth surface composite or cellular PVC or comparable in standard wood trim sizes
- Quality-formed fiberglass

(cornices and bracket details)

- Cut stone
- Cast stone

#### **Appropriate Building Façade**

##### **Lighting Fixtures**

- Gooseneck style wall mounted fixtures
- Lantern style wall mounted fixtures
- Shielded floodlight fixtures
- Wall Sconce Fixtures
- Decorative pendant fixtures, surface mounted fixtures and recessed can fixtures at recessed entries and covered porches and stoops

#### **Inappropriate Commercial & Mixed-use Building Materials**

#### **Inappropriate Building Cladding (façade wall)**

- Oversized brick
- Stucco
- Exterior insulation Finish systems (EIFS)
- Wood siding
- Metal siding
- Vinyl siding
- Concrete masonry units (CMU)
- Dry stack, rubble river-stone and other rustic stone patterns
- Wood Panels
- Concrete panels

#### **Inappropriate Windows and Doors**

- Vinyl windows
- Dark tinted, color tinted or mirror finished glazing
- Simulated divided lights intergral to the glazing ( between insulated glazing panel)
- Window shutters
- Residential grade doors

### **Inappropriate Roofs**

- Steep sloped roofs
- False mansard-style roofs

### **Inappropriate Architectural Detailing**

- Extruded polystyrene
- Vinyl trim

### **Inappropriate Building Façade Lighting Fixtures**

- High Intensity Discharge (HID) lamped fixtures with unshielded or exposed lamps.
- Exposed neon tube (theaters are exempt)
- Wallpack lighting fixtures
- Exposed fluorescent tubes
- Fixtures that illuminate or “was” the entire building façade

### ***Appropriate Transitional Building Materials***

### **Appropriate Building Cladding (façade wall)**

- Modular brick
- Painted modular brick
- Cut stone (ashlar pattern)
- Cultered stone (ashlar

pattern)

- Painted wood siding
- Cementious and fiber cement composite siding (e.g. Hardi Certainteed)

### **Appropriate Windows and Doors**

- Prefinished aluminum storefront system (ground floor only )
- Painted wood windows
- Painted steel windows
- Painted wood storefront system(ground floor only)
- Prefinished aluminum and vinyl clad wood windows
- Clear or slightly tinted glazing
- True divided lights
- Simulated divided lights 9permanent exterior pprofile grilles)
- Shutters and hardware sized to exactly fit window opening if/when closed

### **Appropriate Roofs**

- Painted wood
- High density rigid polyurethane (HRP)
- Smooth surface composite or cellular PVC or comparable standard wood trim sizes
- Quality-formed fiberglass (cornice and bracket details)
- Architectural metal panels
- Cut stone
- Cast stone

### **Appropriate Building Façade Lighting Fixtures**

- Gooseneck style wall mounted fixtures

- Lantern style wall mounted fixtures
- Shielded floodlight fixtures
- Wall sconce fixtures
- Decorative pendant fixtures, surface mounted fixtures and recessed can fixtures at recessed entries and covered porch and stoops

***Inappropriate Transitional Building Materials***

**Inappropriate Building Cladding (façade wall)**

- Oversized brick
- Exterior Insulation Finish Systems (EIFS)
- Stucco
- Metal Siding
- Vinyl Siding
- Concrete masonry units (CMU)
- Dry stack, rubble, river-stone and other rustic stone patterns
- Wood panels
- Concrete panels

**Inappropriate Windows and Doors**

- Vinyl Windows
- Glass block
- Dark tinted, color tinted or mirror finished glazing
- Simulated divided lights integral to the glazing (between insulated glazing panels)
- Shutters lacking hardware and that are not sized to fit the window opening when

closed.

**Inappropriate Roofs**

- Spanish tile
- Wood shingle

**Inappropriate Architectural Detailing**

- Extruded polystyrene
- Vinyl trim

**Inappropriate Building Façade Lighting Fixtures**

- High Intensity Discharge (HID) lamped fixtures with unshielded or exposed lamps
- Expose neon tube (theaters are exempt)
- Wallpack lighting fixtures
- Exposed fluorescent tubes
- Fixtures that illuminate or “wash” the entire building façade

***Appropriate Civic & Institutional Building Materials***

**Appropriate Building Cladding (façade wall)**

- Modular brick
- Painted modular brick
- Cut stone (ashlar pattern)
- Cultured stone (ashlar pattern)
- Painted wood siding
- Cementitious and fiber cement composite siding (e.g. Hardie, certainteed)
- Wood panels
- Concrete panels

**Appropriate Windows and Doors**

- Prefinished aluminum

storefront system (ground floor only)

- Painted wood storefront system (ground floor only)
- Painted wood windows
- Painted steel windows
- Prefinished aluminum and vinyl clad wood windows
- Clear or slightly tinted glazing
- Stained glass
- True divided lights
- Simulated divided lights (permanent exterior profile grilles)
- Shutters and hardware sized to exactly fit window opening if/when closed

#### **Appropriate Roofs**

- Low-sloped roof systems with parapet walls on front facades
- Sloped roofs of asphalt or fiberglass composite shingles, standing seam metal, natural or synthetic slate, and shingle-styled concrete tile

#### **Appropriate Architectural Detailing**

- Painted wood
- High densityrigid polyurethane (HRP)
- Smooth surface composite or cellular PVC or comparable in standard wood trim sizes
- Quality-formed fiberglass (cornice and bracket details)
- Architectural metal panels
- Cut stone
- Cast stone

#### **Appropriate Building Façade**

##### **Lighting Fixtures**

- Gooseneck style wall mounted fixtures
- Lantern style wall mounted fixtures
- Shielded floodlight fixtures
- Wall sconce fixtures
- Decorative pendant fixture, surface mounted fixtures and recessed can fixtures at recessed entries and covered porches and stoops
- Fixtures that illuminate or “wash” the entire building façade

#### ***Inappropriate Civic & Institutional Building Materials***

##### **Inappropriate Building Cladding (façade wall)**

- Oversized brick
- Exterior Insulation Finish System (EIFS)
- Stucco
- Metal siding
- Vinyl siding
- Concrete masonry units (CMU)
- Dry stack, rubble river-stone and other rustic stone patterns
- Wood panels
- Concrete panels

#### **Inappropriate Windows and Doors**

- Vinyl windows
- Glass block
- Dark tinted, color tinted (except stained glass) or

- mirror finished glazing
- Simulated divided lights integral to the glazing (between insulated glazing panels)
- Shutters lacking hardware and that are not sized to fit the window opening when closed
- Residential doors on ground floors

### **Inappropriate Roofs**

- Spanish Tile
- Wood shingle

### **Inappropriate Architectural Detailing**

- Extruded polystyrene
- Vinyl trim

### **Inappropriate Building Façade Lighting Fixtures**

- High Intensity Discharge (HID) lamped fixtures with unshielded or exposed lamps
- Exposed neon tube (theaters are exempt)
- Wallpack lighting fixtures
- Exposed fluorescent tubes